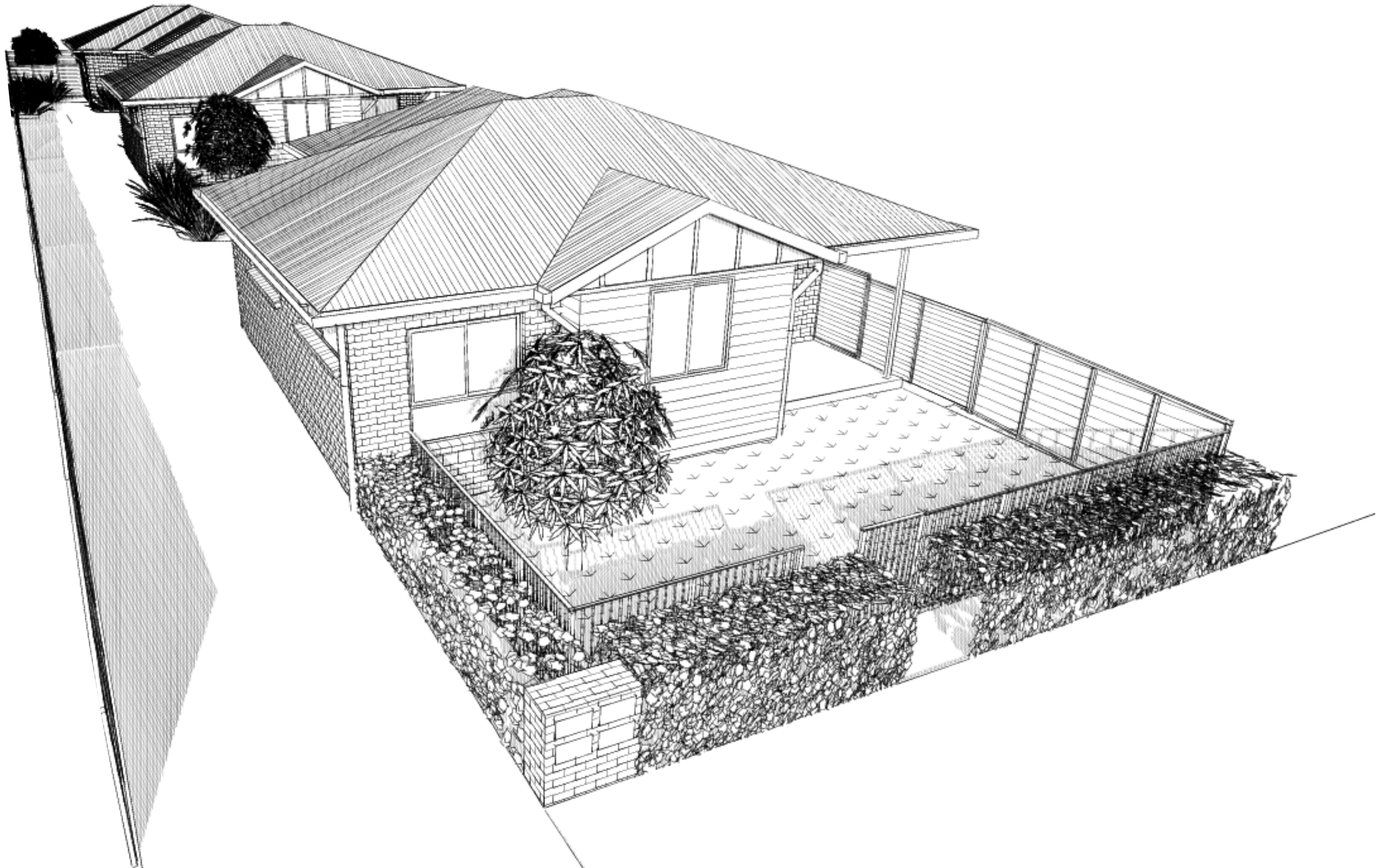


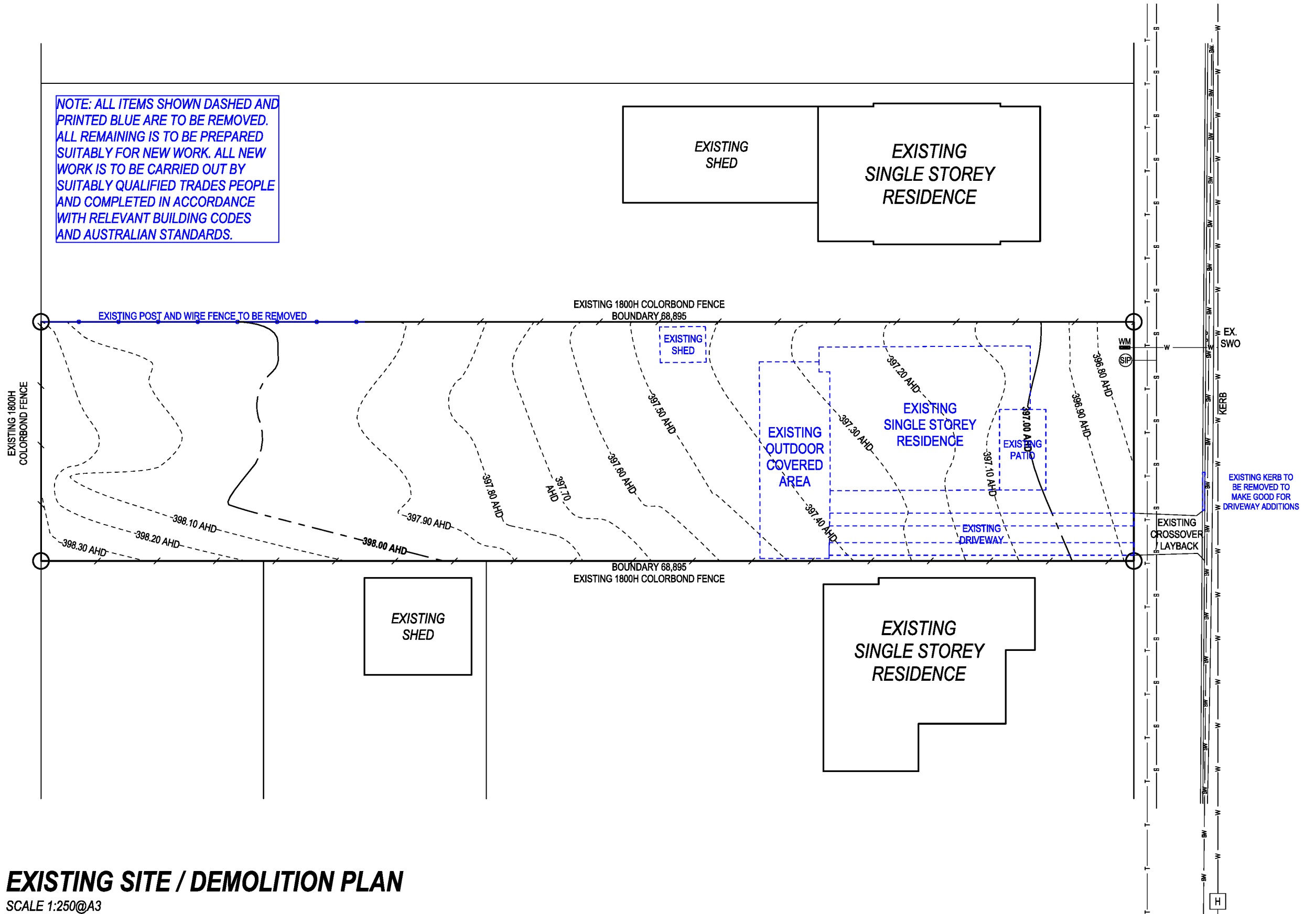


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4 GIDLEY STREET, WEST TAMWORTH NSW 2340



NOTE: ALL ITEMS SHOWN DASHED AND PRINTED BLUE ARE TO BE REMOVED. ALL REMAINING IS TO BE PREPARED SUITABLY FOR NEW WORK. ALL NEW WORK IS TO BE CARRIED OUT BY SUITABLY QUALIFIED TRADES PEOPLE AND COMPLETED IN ACCORDANCE WITH RELEVANT BUILDING CODES AND AUSTRALIAN STANDARDS.



EXISTING SITE / DEMOLITION PLAN
SCALE 1:250@A3

TRC NOTES

ADDITIONAL UNDERFLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

REV	DATE	AMENDMENT	DT	CB
1	24/10/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DN	CD
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DEVELOPMENT NOTES

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LEGEND

AHD AUSTRALIAN HEIGHT DATUM

WM EXISTING WATER METER

T EXISTING TELECOM SERVICE

W EXISTING WATER SERVICE

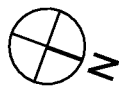
E EXISTING SEWER SERVICE

H EXISTING WATER HYDRANT

MH EXISTING SEWER MANHOLE

SIP EXISTING SEWER INSPECTION POINT

SWO EXISTING STORMWATER OUTLET



**MEDIUM DENSITY
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4 GIDLEY STREET
TAMWORTH NSW 2340

Drawing Title:
EXISTING SITE PLAN

Status: DEVELOPMENT

Scale: 1:250 @ A3

Project No:

22005_2

Sheet No.:

WD2

Plot Date:

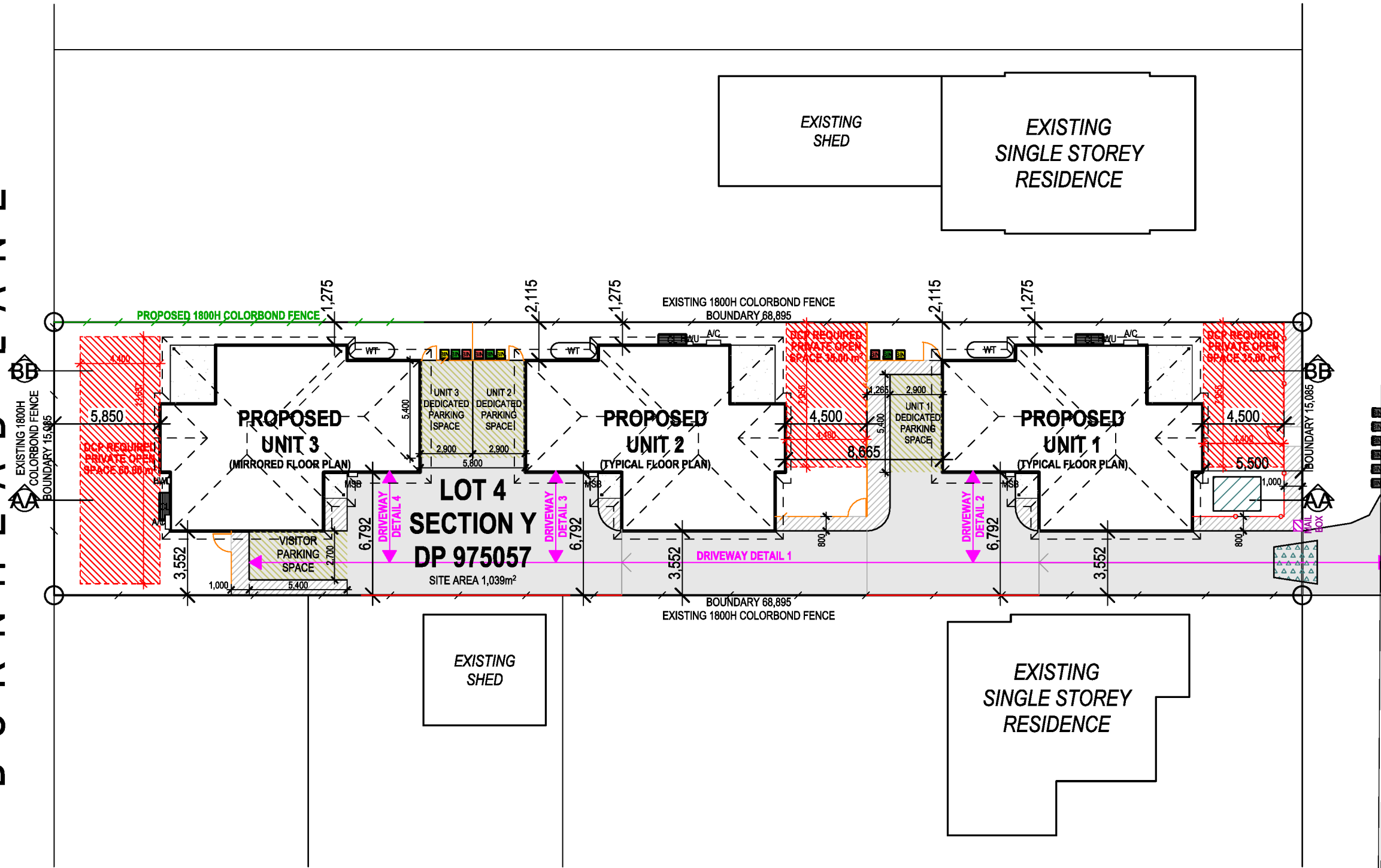
14/02/2025

BURNHEAD LANE

GIDLEY STREET

SITE SETOUT PLAN

SCALE 1:250@A3



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LEGEND

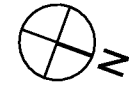
WT	3000 LITRE WATER TANK
CL	CLOTHES LINE
EXISTING COLORBOND FENCE 1800H	
PROPOSED COLORBOND FENCE 1800H	
PROPOSED PALISADE FENCE 1500H	
BIN	RESIDENT BIN LOCATION FOR PICKUP BY LOCAL AUTHORITY

SITE AREAS & COVERAGE

ROOF SURFACE AREA	471.6m²
ROOF CATCHMENT AREA	448.7m²
DRIVEWAY AREA	323.3m²
TOTAL HARDSTAND AREA	754.65m²
TOTAL SITE AREA	1,039m²
SITE COVERAGE %	72.5%

MAXIMUM ALLOWABLE SITE COVERAGE (75%)
TAMWORTH REGIONAL DCP 2010 RESIDENTIAL (MULTI-DWELLING) CONTROLS

779.3m²
SITE LAND ZONING - R1 (GENERAL RESIDENTIAL)



MEDIUM DENSITY RESIDENTIAL
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TRC NOTES

ADDITIONAL UNDERFLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

Drawing Title:
SITE SETOUT PLAN

Status: DEVELOPMENT

Scale: 1:250 @ A3

Project No:

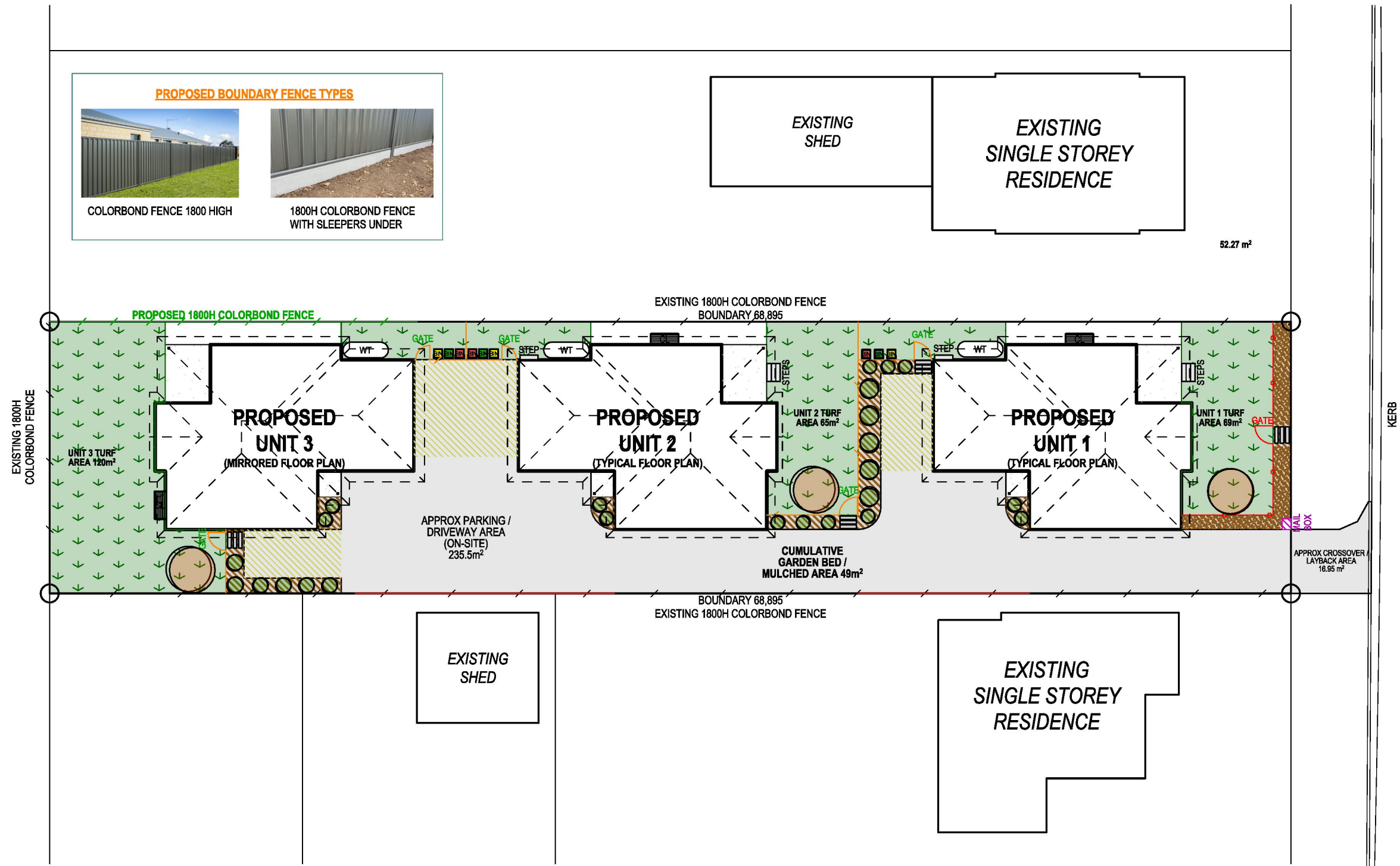
22005_2

Sheet No.:

WD4

Plot Date:

14/02/2025



LANDSCAPE PLAN

SCALE 1:200@A3

LANDSCAPING LEGEND



DROUGHT TOLERANT
TURF / GRASS



CONCRETE DRIVEWAY



GARDEN BED/MULCH



GRAVEL



RECOMMENDED HEDGE
PLANTING:

**SYZGIUM AUSTRALE
NATIVE**

"STRAIGHT AND NARROW"
LILLY PILLY (OR SIMILAR)
2-3m HIGH AT MATURITY
(TRIMMED TO 1500 HIGH
FOR SCREENING)



RECOMMENDED LARGE
PLANTING:

**SYZGIUM AUSTRALE
NATIVE**

"STRAIGHT AND NARROW"
LILLY PILLY (OR SIMILAR)
2-3m HIGH AT MATURITY



RECOMMENDED SMALL
PLANTING:
LOMANDRA LONGIFOLIA
NYALLA (OR SIMILAR)
0.9-1.0m HIGH AT MATURITY

LANDSCAPING AREAS

UNIT 1 LANDSCAPED AREA	68.5m ²
UNIT 2 LANDSCAPED AREA	64.5m ²
UNIT 3 LANDSCAPED AREA	120m ²
CUMULATIVE GARDEN BED AREA	49m ²
TOTAL LANDSCAPING AREA	302m²

DEVELOPMENT NOTES

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**MEDIUM DENSITY
RESIDENTIAL**
4 GIDLEY STREET
TAMWORTH NSW 2340

Drawing Title:
LANDSCAPE PLAN

Status: DEVELOPMENT

Scale: 1:250 @ A3

Project No: APPLICATION

Sheet No.:

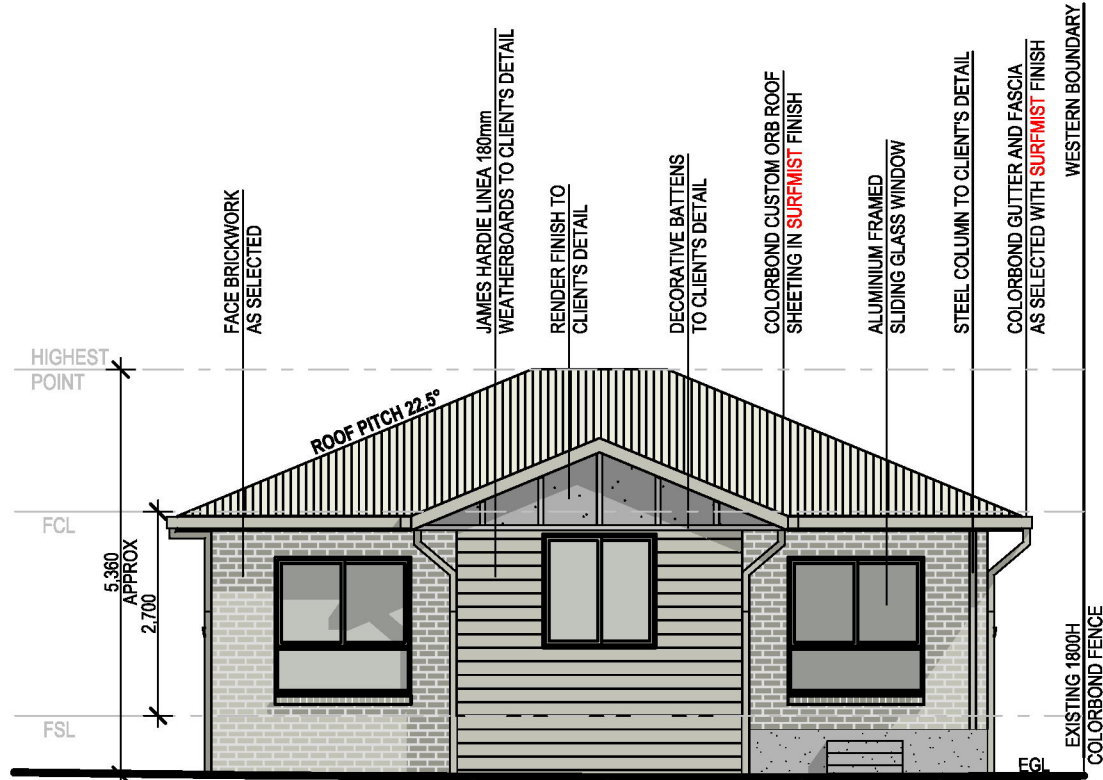
22005_2

WD6

Plot Date:

14/02/2025

NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY



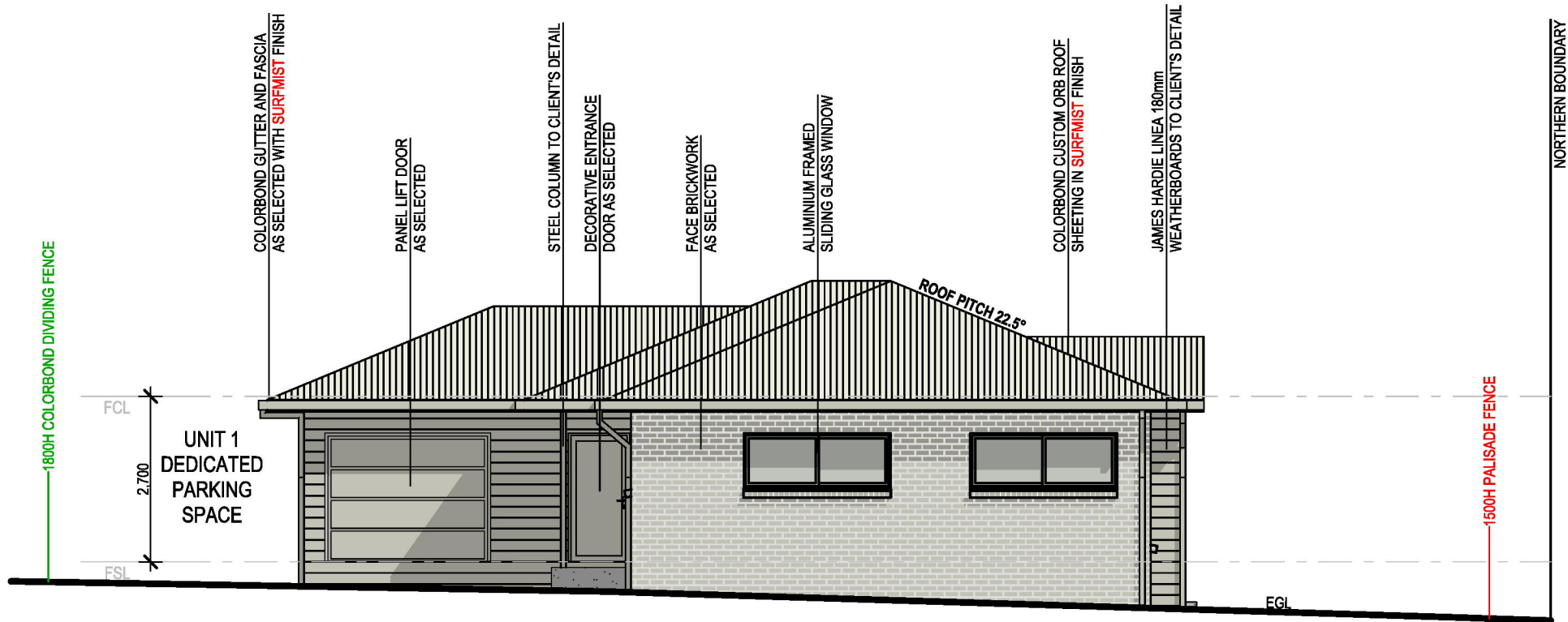
UNIT 1 - SOUTHERN ELEVATION
SCALE 1:100@A3

**Certificate No. #HR-R4RUTJ-01**
Scan QR code or follow website link for rating details.

Assessor name Krzysztof Kwiatkowski
Accreditation No. DMN/24/2214
Property Address 4 Gidley Street , West
Tamworth, NSW, 2340



<http://www.hero-software.com.au/pdf/HR-R4RUTJ-01>



UNIT 1 - EASTERN ELEVATION
SCALE 1:100@A3

TRC NOTES
ADDITIONAL UNDERFLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

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LEGEND

EGL
FGL
FCL
FSL
RC
ENG.

EXISTING GROUND LEVEL
FINISHED GROUND LEVEL
FINISHED CEILING LEVEL
FINISHED SLAB LEVEL
REINFORCED CONCRETE
ENGINEER



**MEDIUM DENSITY
RESIDENTIAL**
4 GIDLEY STREET
TAMWORTH NSW 2340

Drawing Title:
ELEVATIONS (UNIT 1)

Status: DEVELOPMENT

Scale: 1:100 @ A3

Project No:

22005_2

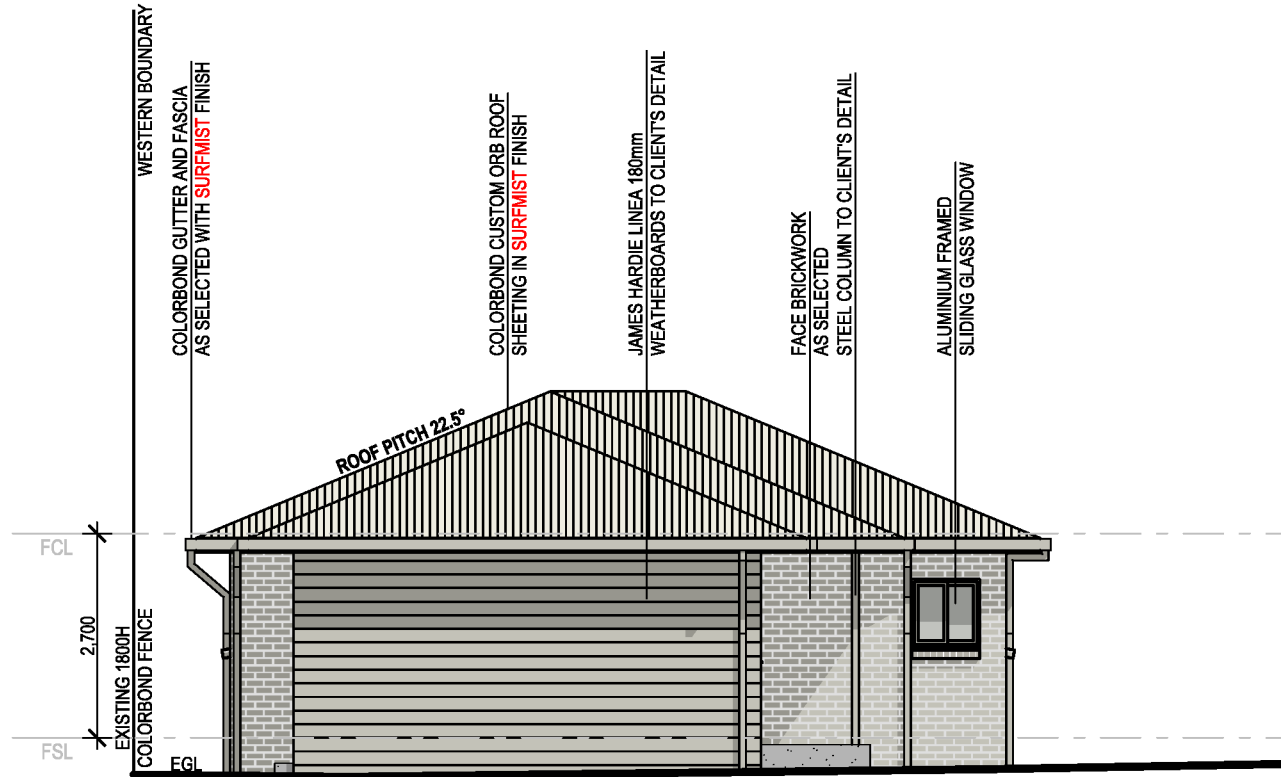
Sheet No.:

WD15

Plot Date:

14/02/2025

NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY



Certificate No. #HR-R4RUTJ-01
Scan QR code or follow website link for rating details.

Assessor name

Krzysztof Kwiatkowski

Accreditation No.

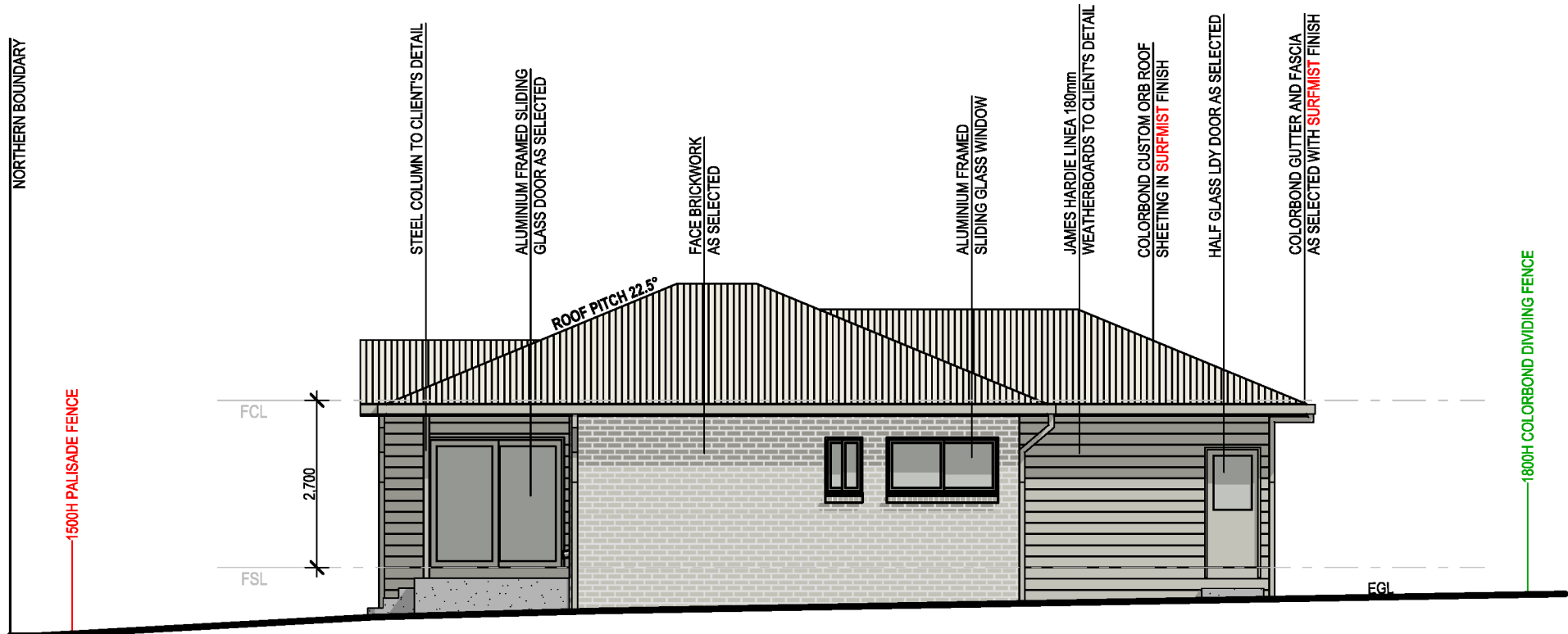
DMN/24/2214

Property Address

4 Gidley Street , West
Tamworth, NSW, 2340

http://www.hero-software.com.au/pdf/HR-R4RUTJ-01

UNIT 1 - NORTHERN ELEVATION
SCALE 1:100@A3



UNIT 1 - WESTERN ELEVATION
SCALE 1:100@A3

TRC NOTES

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LEGEND

EGL	EXISTING GROUND LEVEL
FGL	FINISHED GROUND LEVEL
FCL	FINISHED CEILING LEVEL
FSL	FINISHED SLAB LEVEL
RC	REINFORCED CONCRETE
ENG.	ENGINEER



MEDIUM DENSITY
RESIDENTIAL
4 GIDLEY STREET
TAMWORTH NSW 2340

Drawing Title:
ELEVATIONS (UNIT 1)

Status: DEVELOPMENT

Scale: 1:100 @ A3

Project No:

22005_2

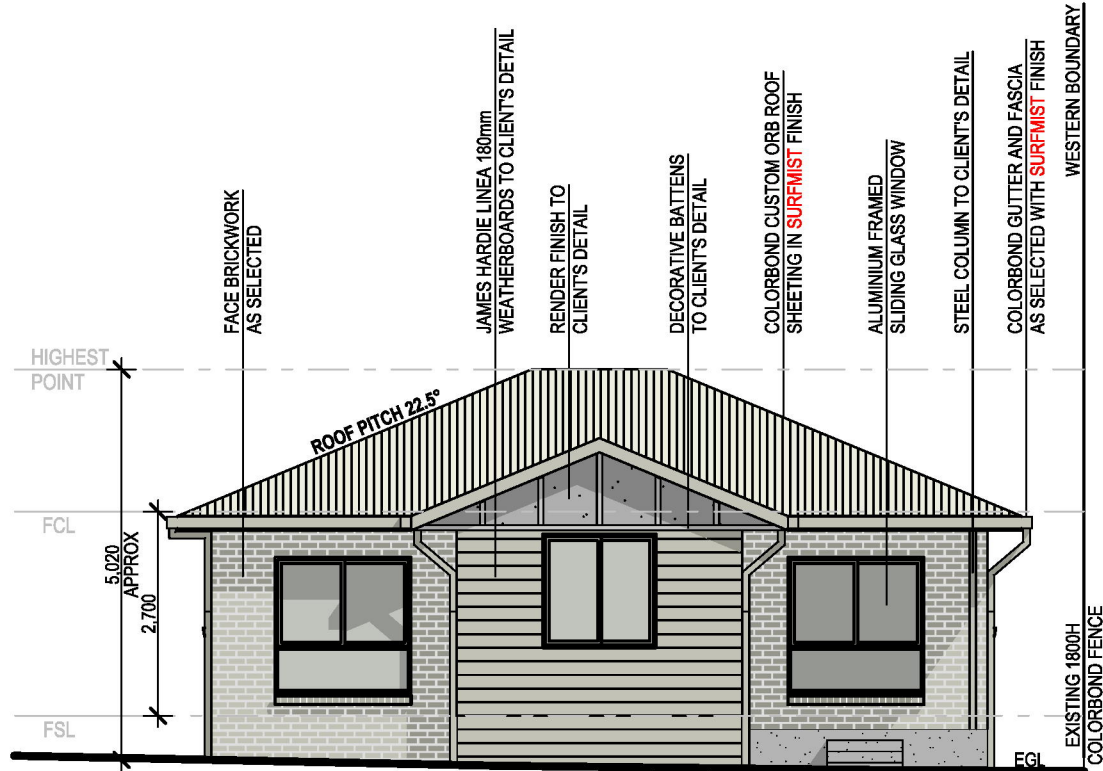
Sheet No.:

WD16

Plot Date:

14/02/2025

NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY



UNIT 2 - SOUTHERN ELEVATION
SCALE 1:100@A3

**Certificate No. #HR-R4RUTJ-01**
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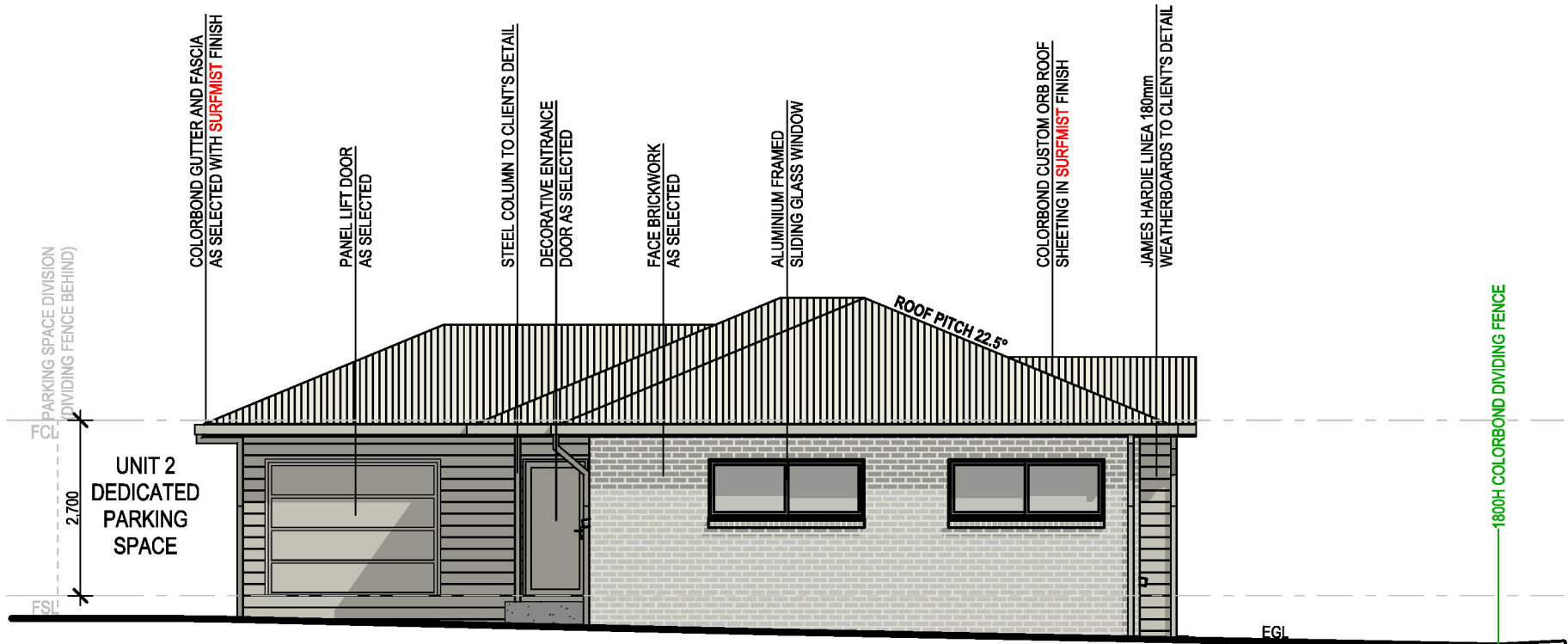
Assessor nameKrzysztof Kwiatkowski

Accreditation No.DMN/24/2214

Property Address4 Gidley Street , West
Tamworth, NSW, 2340

<http://www.hero-software.com.au/pdf/HR-R4RUTJ-01>





UNIT 2 - EASTERN ELEVATION
SCALE 1:100@A3

TRC NOTES

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FGL
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EXISTING GROUND LEVEL
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REINFORCED CONCRETE
ENGINEER



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RESIDENTIAL
4 GIDLEY STREET
TAMWORTH NSW 2340

Drawing Title:
ELEVATIONS (UNIT 2)

Status: DEVELOPMENT Scale: 1:100 @ A3

Project No: APPLICATION

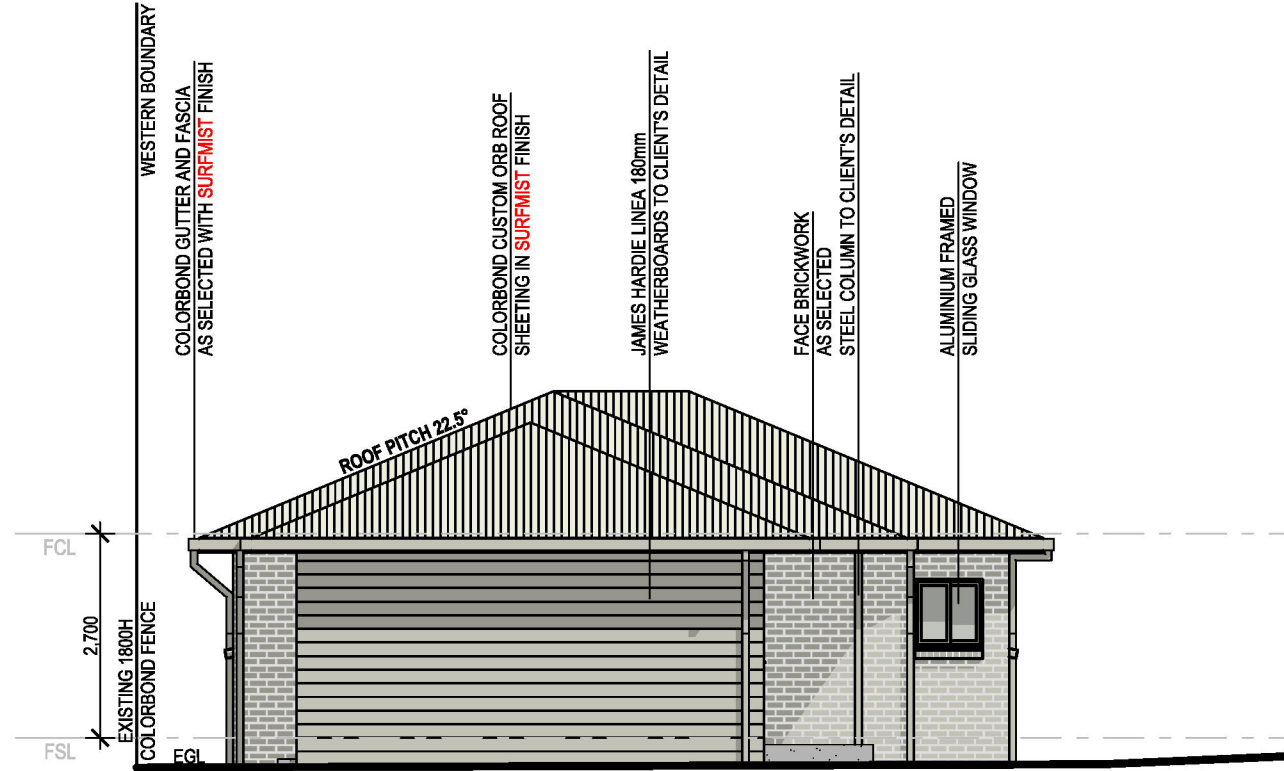
22005_2

Sheet No.:

WD17

Plot Date: 14/02/2025

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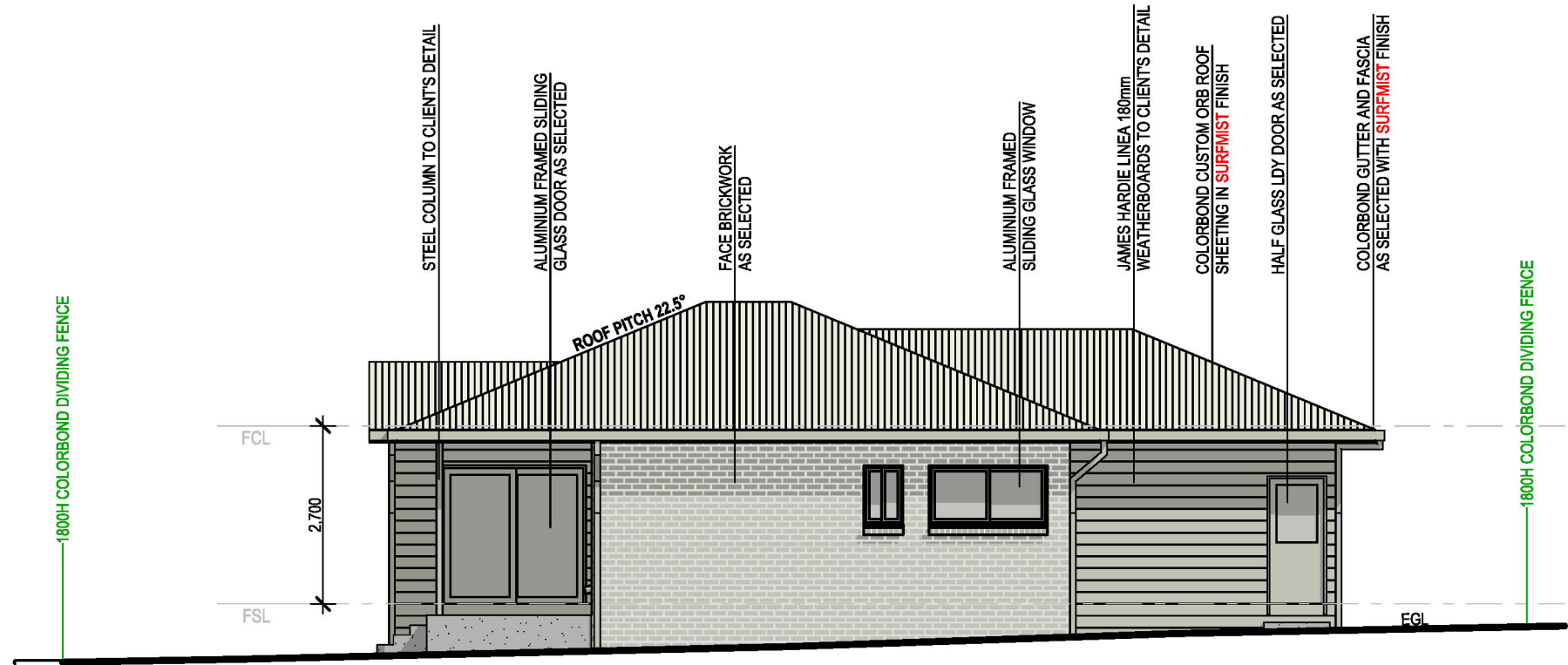


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Accreditation No. DMN/24/2214
Property Address 4 Gidley Street , West
Tamworth, NSW, 2340
<http://www.hero-software.com.au/pdf/HR-R4RUTJ-01>



UNIT 2- NORTHERN ELEVATION
SCALE 1:100@A3



UNIT 2 - WESTERN ELEVATION
SCALE 1:100@A3

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MEDIUM DENSITY
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Drawing Title:
ELEVATIONS (UNIT 2)

Status: DEVELOPMENT Scale: 1:100 @ A3

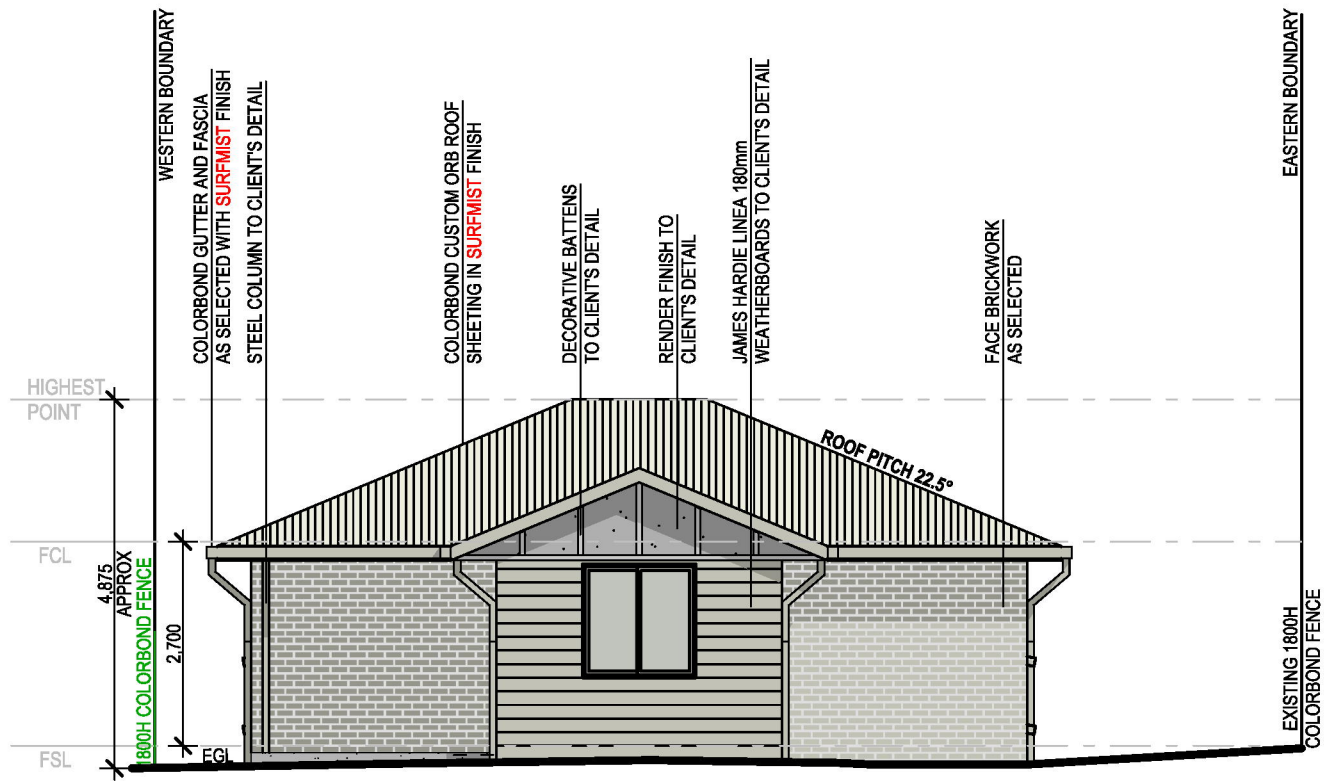
Project No:

22005_2

Sheet No.:

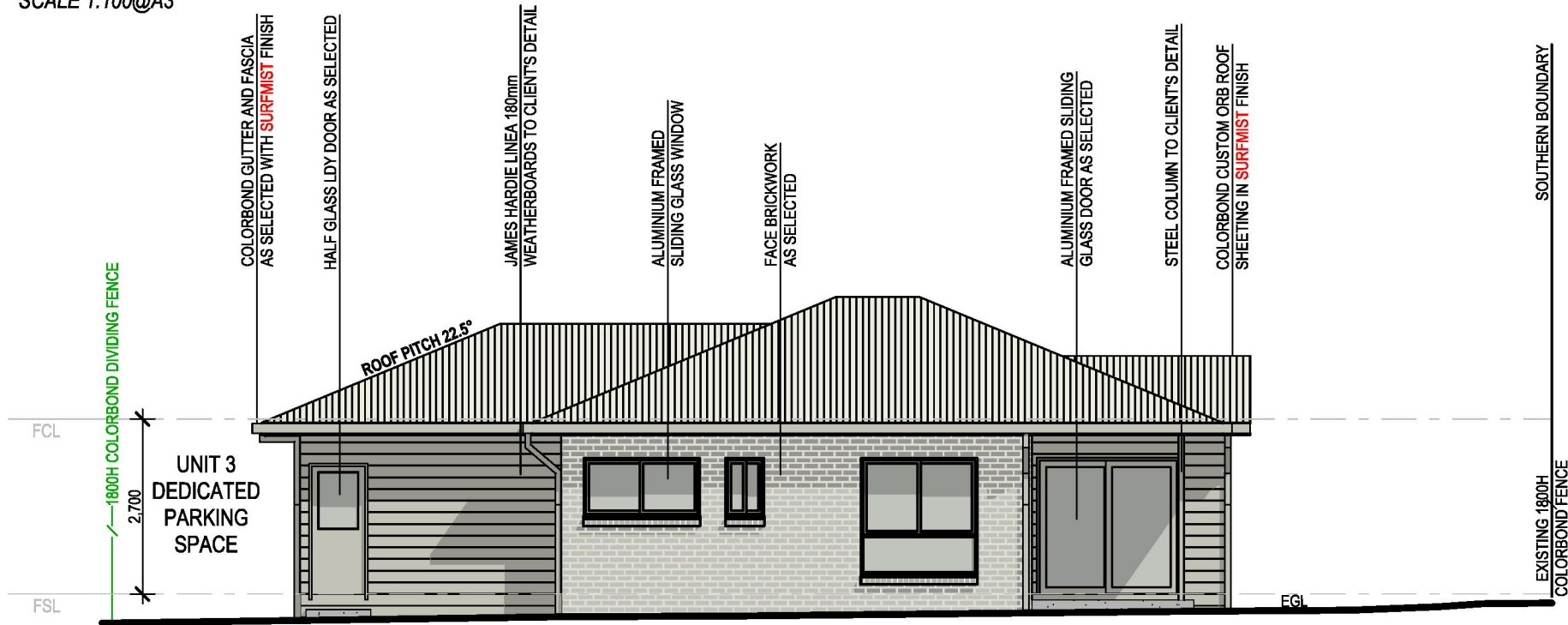
WD18

Plot Date: 14/02/2025



UNIT 3 - NORTHERN ELEVATION

SCALE 1:100@A3



UNIT 3 - WESTERN ELEVATION

SCALE 1:100@A3

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MEDIUM DENSITY
RESIDENTIAL
4 GIDLEY STREET
TAMWORTH NSW 2340

TRC NOTES

ADDITIONAL UNDERFLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

Drawing Title:
ELEVATIONS (UNIT 3)

Status: DEVELOPMENT Scale: 1:100 @ A3

Project No:

22005_2

Sheet No.:

WD19

Plot Date: 14/02/2025



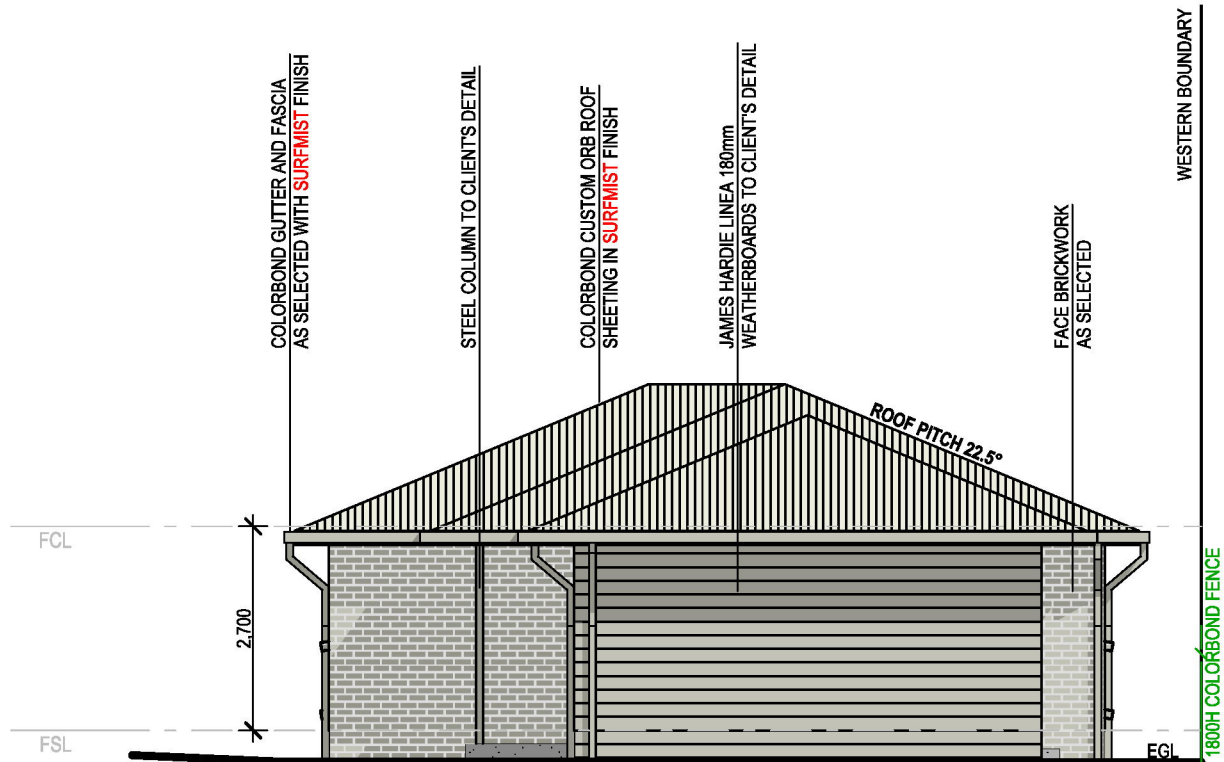
Certificate No. #HR-R4RUTJ-01
Scan QR code or follow website link for rating details.

Assessor name
Krzysztof Kwiatkowski

Accreditation No.
DMN/24/2214

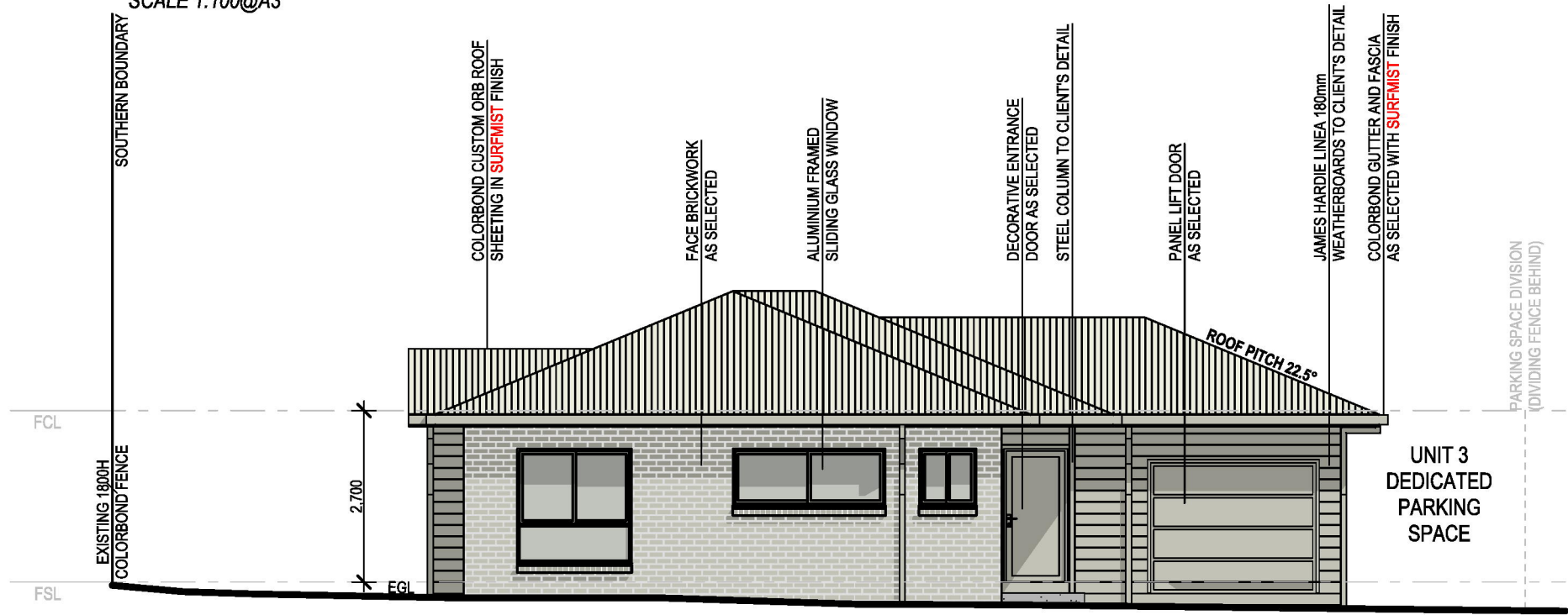
Property Address
4 Gidley Street , West
Tamworth, NSW, 2340


<http://www.hero-software.com.au/pdf/HR-R4RUTJ-01>



UNIT 3 - SOUTHERN ELEVATION

SCALE 1:100@A3



UNIT 3 - EASTERN ELEVATION

SCALE 1:100@A3

REV	DATE	AMENDMENT	DT	CB
1	24/10/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DN	CD
2	31/10/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	DN	SB
3	28/11/24	ISSUED FOR DEVELOPMENT APPLICATION	DN	SB

DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

LEGEND

EGL
FGL
FCL
FSL
RC
ENG.

EXISTING GROUND LEVEL
FINISHED GROUND LEVEL
FINISHED CEILING LEVEL
FINISHED SLAB LEVEL
REINFORCED CONCRETE
ENGINEER



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